

MFCDC Housing Design Recommendations 2018

The Mapleton-Fall Creek Development Corporation (MFCDC) has established the following guidelines to assist contractors and homeowners to build and make repairs to homes that are consistent to the fabric of the neighborhood. These guidelines serve as a resource, not as a code. Current building codes and City regulations must be met for renovation or new construction projects and can be located at www.indy.gov/bns.

The recommendations reflect the values and ideas from Mapleton-Fall Creek Community residents and experienced professionals familiar with the scope of the neighborhood. For developers interested in building our subsidized housing, recommendations for visitability and fair housing are included. For more specific details concerning MFCDC's approach to housing renovation and construction guidelines, please refer to our General Specifications for Procurement and Contracting Requirements.

The following suggestions were created as best practices for Site, House Style, Exterior and Interior Design specifically for Mapleton-Fall Creek housing.

SITE

Use

1. 1-2 story duplexes or single-family residences, between 1,200-1,800 square feet of finished interior space shall be the only use allowed on residential-zoned properties suitable for a 40' – 45' lot.
2. The house must be on a raised foundation and crawl space.
3. House front setback must be similar to the homes on either side of the property.

4. The Floor Area Ratio (FAR) shall meet the maximum allowed by City code.

Access

1. All steps at entries are to be concrete with a min. of a 3'x 3' landing at all entries. A wooden small deck may be substituted in the back of the house.
2. Provide a concrete sidewalk that is a min. of 36" wide and 4' thick from front porch of the house to city sidewalk and from rear entry to parking pad or gravel.
3. Primary house entrance (front door) shall face the street.
4. Exterior lighting shall be installed at front and rear entries. Light to be installed on latch side of entry door.
5. Provide an accessible detached garage/ carport, when space allows at the rear of the lot or at a minimum install a 20"x 24" reinforced concrete parking pad connected to the house by a concrete walkway.
 - a. If feasible, install a concrete foundation wall and perimeter integrated frost depth footings to allow for later construction of a garage.
6. Provide access towards the alley.
7. Railings on exterior stairs shall be painted metal or decorative wood.

MFCDC Housing Design Recommendations 2018

Landscaping

Landscape design should utilize native plants, on-site water management (permeable drainage, etc), and installation of perennials, groundcovers, or edible plantings to reduce area planted with grass. Landscaping should be min. 6 shrubs 12" in height with min 3' mulch strip across from perimeter.

Plantings

1. Front-yard: At minimum, install 1 (1.5" caliper) deciduous shade tree and 6 shrubs, 12" in height with 3' mulch strip across from perimeter.
2. Back-yard: At minimum, plant 1 (1.5" caliper) deciduous shade tree. Consider planting disease resistant fruit-bearing trees.



Consider groundcover that minimizes mowing and does not need watering during hot summer months.

Traditional groundcover suggestions: Coreopsis, Sedum, Aster, Phlox, Aegopodium Variegatum

'Walkable' groundcover suggestions: Legacy Buffalo Grass, Vinca Minor, Creeping Lily Turf, Barren Strawberry

Water Management

Consider rain garden or other vegetation, in addition to sloping the grade and/or using splash blocks to keep overflow water away from the foundation:

1. Install rain barrels attached to downspout.
2. Replace or install retaining walls when there is significant grade change from lawn to walk to prevent erosion.

3. Consider leaving a dedicated area in full sun unplanted for vegetable gardening. Raised beds using salvaged lumber or other non-toxic onsite material is desirable, particularly for elderly or disabled owners.

Miscellaneous

1. Fencing shall be between 4' – 6' and set only in the rear of the house. Materials to be considered are: wood, metal, and coated chain link. Front-yard fencing considerations should be no taller than 4' in height and of a picket-style.
2. Install a community consistent style of mailbox on latch side of front entry door.
3. House numbers must be installed on a 1" x 8" exterior grade board and appropriately sized at front and rear entries.
4. Consider installing a doorbell at front and rear entries to the house.
5. All masonry retaining walls shall include a solid wall cap.

MFCDC Housing Design Recommendations 2018

HOUSE STYLE

The Mapleton-Fall Creek neighborhood has an established historical character with a variety of different architectural styles (Tudor revival, Colonial revival, etc.). The intent of these design guidelines is to be compatible with the physical and design context of the existing neighborhood housing stock and restore the community to its original prominence.

Porch

1. Provide a brick front porch with rail and shingled canopy overhang.
2. The porch shall extend a minimum of 50% of the width of front façade and be a minimum of 7-feet deep.
3. Porch columns may be a minimum of 5; diameter round or square posts, primed and painted to match color scheme.
4. Provide a light on the front porch.
5. Steps to front porch shall be equal size and meet building code.
6. Do not enclose front porches.

Roof

1. All roofs shall be sloped with roof pitch between 6:12 and 12:12.
 - a. Porch roofs may be pitched lower than 6:12 to avoid windows of second stories. Minimum slope allowed for porches is 4:12.
2. Roofs shall be gabled or hipped. Gable roofs shall be oriented so that gable-end faces the street.
3. Provide a minimum 2'-0" overhang on all sides of sloped roofs (exception: bow/bay roof overhang)
4. Provide gutters and downspouts for all sloped roofs. Gutters shall not discharge onto sidewalks. When feasible, provide a gutter protection system that does not have a screen.



Home built by Carley Custom Builders 2017

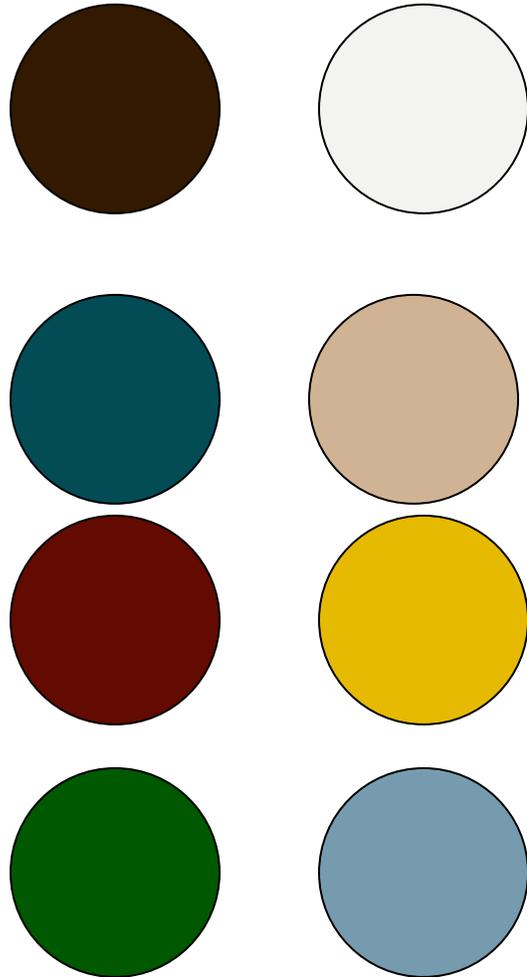
MFCDC Housing Design Recommendations 2018

EXTERIOR DESIGN

Walls, doors and windows

1. Front façade shall have a minimum of 15% windows surfaces on walls (not including doors).
2. No more than 2 primary siding materials are permitted.
3. Siding materials shall wrap the front of the house and be consistent on all sides of the house.
4. Provide accent trim or shutters around all windows on the front façade.
 - a. Corner lot houses shall include trim or shutters on side windows facing street.
5. Front door of the house shall include a window in the top half of the door.
 - a. Provide screen door on front entrance to match house character.
6. Exterior doors to be prefinished, metal; or vinyl-clad and insulated.
7. Consider windows and doors to have exterior trim to create a positive protrusion beyond siding.
8. Bury power lines and other utilities leading to house when feasible.
9. The following colors are representative of the 1920s-1940s and should be considered as an exterior paint color.
 - a. Provide a minimum of 2 exterior paint colors.

- b. Do not exceed 3 colors per façade elevation. Third color to be used as an accent or detail.



MFCDC Housing Design Recommendations 2018

INTERIOR DESIGN

The housing stock in Mapleton-Fall Creek provides opportunities for both historic restoration and modernization. The design of interior spaces should reflect the interests of the marketplace while keeping in mind long-term housing needs. Energy efficiency and accessibility should be considered when making design choices.

Layout Designs

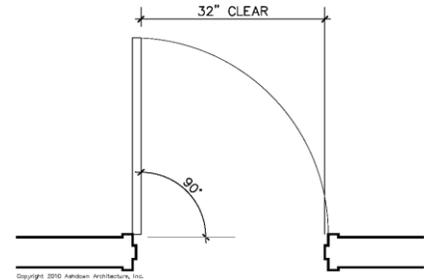
1. Install main floor bathrooms.
2. Provide master bedrooms with walk-in closets and attached baths with dual sinks.
3. Provide pantries.
4. Consider minimum of R-30 insulation in the attic space when walk-up attics are unfinished and a minimum of R-13 insulation at all exterior wall conditions.

Building Energy Efficiency

1. MFCDC builds energy efficient homes and strives to achieve Home Energy Rating System (HERS) Index scores between 65-75.
2. New or rehabbed residential 3 stories or fewer consider ENERGY STAR.
3. Energy efficient windows should have 7/8" double pane glazing and screen.
4. Install a 40 gallon 80% high efficiency power vent water heater.
5. Consider a 90% Annual Fuel Universal Efficiency (AFUE) gas furnace that is appropriately sized for the house.

Accessibility Considerations

1. **Entrances:** shall be part of an accessible route. Provide a clear opening width of 32".
2. **Bathroom:**
 - a. **Doors:** minimum clear opening of 32" with the door open 90 degrees.



- b. **Clear floor space:** 60in. diameter or T-shaped space. Provide clear floor space at fixtures and controls, the accessible route and the turning space may overlap. Clear floor space of at least 30"x 48". shall be provided in front of a sink. Clear floor space shall be on an accessible route and shall extend a maximum of 19" underneath the sink. Clear area to the right and left of the toilet.

3. **Sidewalks and hallway widths:** Provide a clear width for all walks, halls and corridors shall be 36". Minimum clear opening for doors shall be 32" with the door open of 90° measured between the face of the door and the opposite stop.

Miscellaneous

1. When not used, seal fireplace and chimney at top and bottom to reduce energy loss.

MFCDC Housing Design Recommendations 2018

The MFCDC Housing Design Recommendations are to serve only as a reference. For questions concerning our homeownership programs, contact a Mapleton-Fall Creek Development Corporation representative at 317-800.6609, visit our website at www.mfcdc.org or stop by our office at 3190 N. Meridian Street.